

**CHANGE ORDER
PURSUANT TO
COMPREHENSIVE AGREEMENT
HENRICO INDOOR SPORTS FACILITY**

THIS FIRST CHANGE ORDER (the “**First Change Order**”), dated as of October 11, 2022 (the “**Effective Date**”), is between **HENRICO COUNTY, VIRGINIA**, a political subdivision of the Commonwealth of Virginia (the “**County**”), and **THE REBKEE COMPANY**, a Virginia corporation (the “**Developer**”) and modifies the scope of the Work and the Completion Date, as those terms are defined in the Comprehensive Agreement dated January 10, 2022, between the County and the Developer (the “**Comprehensive Agreement**”). Terms not defined in this First Change Order have the meanings given to them in the Comprehensive Agreement.

RECITALS:

A. The County has directed the Developer to remove acoustical Work from the scope of the Work as described in Change Request Number 10 dated September 12, 2022, which is attached to and made part of this First Change Order as **Exhibit 1**.

B. The County has directed the Developer to add a second-floor mezzanine to the scope of the Work as described in Change Request Number 08 revised dated September 7, 2022, which is attached to and made part of this First Change Order as **Exhibit 2**.

C. In accordance with Section 5.b of the Comprehensive Agreement, the Developer timely notified the County that the County’s directions will require an extension of time and proposed an extension of the Completion Date by six weeks. The County agrees with the Developer’s position.

D. There is no modification to the Guaranteed Maximum Price.

AGREEMENT

The County and Developer agree as follows:

1. **Recitals**. The Recitals set forth above are true and correct and are incorporated into and made a part of this First Change Order.
2. **Change in the Work**. The acoustical Work described in **Exhibit 1** is removed from the scope of the Work under the Contract Documents. All Work to provide a second-floor mezzanine as described in **Exhibit 2** is added to the scope of the Work under the Contract Documents.
3. **Modification to Completion Date**. The Completion Date is extended by six weeks. As extended, this date is October 23, 2023.

4. **Increase to Contingency Amount.** The difference between the Work removed from and the Work added to the scope of the Work under the Contract Documents by this First Change Order is a credit to the County in the amount of \$380,078.88 ("Credit"). The Credit is added to the amount available for "Other Soft Costs/Contingency" shown in the column for the Comprehensive Agreement in the Guaranteed Maximum Price Schedule in Exhibit A to the Comprehensive Agreement. Accordingly, the total amount available for "Other Soft Costs/Contingency" under the Comprehensive Agreement is \$650,051.88 and there is no modification to the Construction Cost or the Guaranteed Maximum Price.
5. **No Other Modifications.** Except as specifically provided in this First Change Order, all provisions of the Comprehensive Agreement remain in full force and effect.
6. **Binding Effect.** This First Change Order is binding upon, inures to the benefit of, and is enforceable by the parties and their respective successors and assigns.
7. **Contract Document.** This First Change Order is a Contract Document, is subject to all terms and conditions in the Comprehensive Agreement, and is added to Exhibit G to the Comprehensive Agreement.
8. **Counterparts.** This First Change Order may be executed in one or more counterparts, each of which will be an original, and all of which together will be one and the same instrument. Digitally transmitted signatures shall be sufficient to bind the parties and shall in all respects be treated in court proceedings or otherwise as the legal equivalent of an original signature.

WITNESS the following signatures.

THE REBKEE COMPANY

By:

Name: Robert W. Hargett
 Title: Vice President
 Date:

COUNTY OF HENRICO

By:

Name: John A. Vithoulkas
 Title: County Manager
 Date: 10/11/2022

APPROVED AS TO FORM

Deputy COUNTY ATTORNEY
 10/11/2022

Exhibit 1: Change Request Number 10 Dated September 12, 2022

First Change Order
Comprehensive Agreement
Henrico County Indoor Sports Complex
Glen Allen, VA



1660 Huguenot Road
Midlothian, VA 23113
Ph : (804) 897-0900

Change Request

To: McNeal, Brian
2800 Patterson Ave.
Suite 200
Richmond, VA 23221

Number: 10
Date: 9/12/22
Job: 21-024 Henrico Sports Complex

Description: Credit for Acoustic Scope
Source: Other

We are pleased to offer the following specifications and pricing to make the following changes:

Remove Full Acoustic Scope from EDC's Scope of Work and the County will now handle under their FFE Package. EDC will still coordinate the work.

Acoustical items being removed include all acoustic fabric, 1" polyester acoustic batting, 1" fabric track, 1/8"x10'x75' polyester acoustic batting, 4'x8'x1/4" mdf panels with moisture barrier and all other materials scheduled to be Design Technik in the Gymnasium. EDC will install metal stud wall framing and 1 layer of drywall at gymnasium walls, all acoustics beyond the drywall will be the responsibility of the County. All items associated with acoustical curtain are also being removed from this scope and included in the County's FFE. Acoustic curtain items being removed include all Tomcat light duty truss support system, Tork Winch curtain winch system, tork winch drive pipes, Liftall round swings, valance and drape with vertical seams along with any controls or operational equipment for the acoustic curtain separating the gymnasium from the convocation area.

The total amount to provide this work is \$(1,136,691.00)
(Please refer to attached sheet for details.) Please contact me if you have any questions.

Submitted by: Jeffrey Emmons *JE*
EDC

Approved by: _____
Date: _____



1660 Huguenot Road
Midlothian, VA 23113
Ph : (804) 897-0900

Change Request 10 Price Breakdown Continuation Sheet

Description: Credit for Acoustic Scope

Cost Code	Description	Labor	Material	Subcontract	Other	Price
07-200	Acoustical Curtain & Wall Treatments	\$ 0.00	\$ 0.00	#####	\$ 0.00	\$(1,136,691.00)

Subtotal: \$(1,136,691.00)

Total: \$(1,136,691.00)

SOLOTECH

PROPOSAL REVISION FOR:
~~AUDIO VISUAL &~~ ACOUSTICS

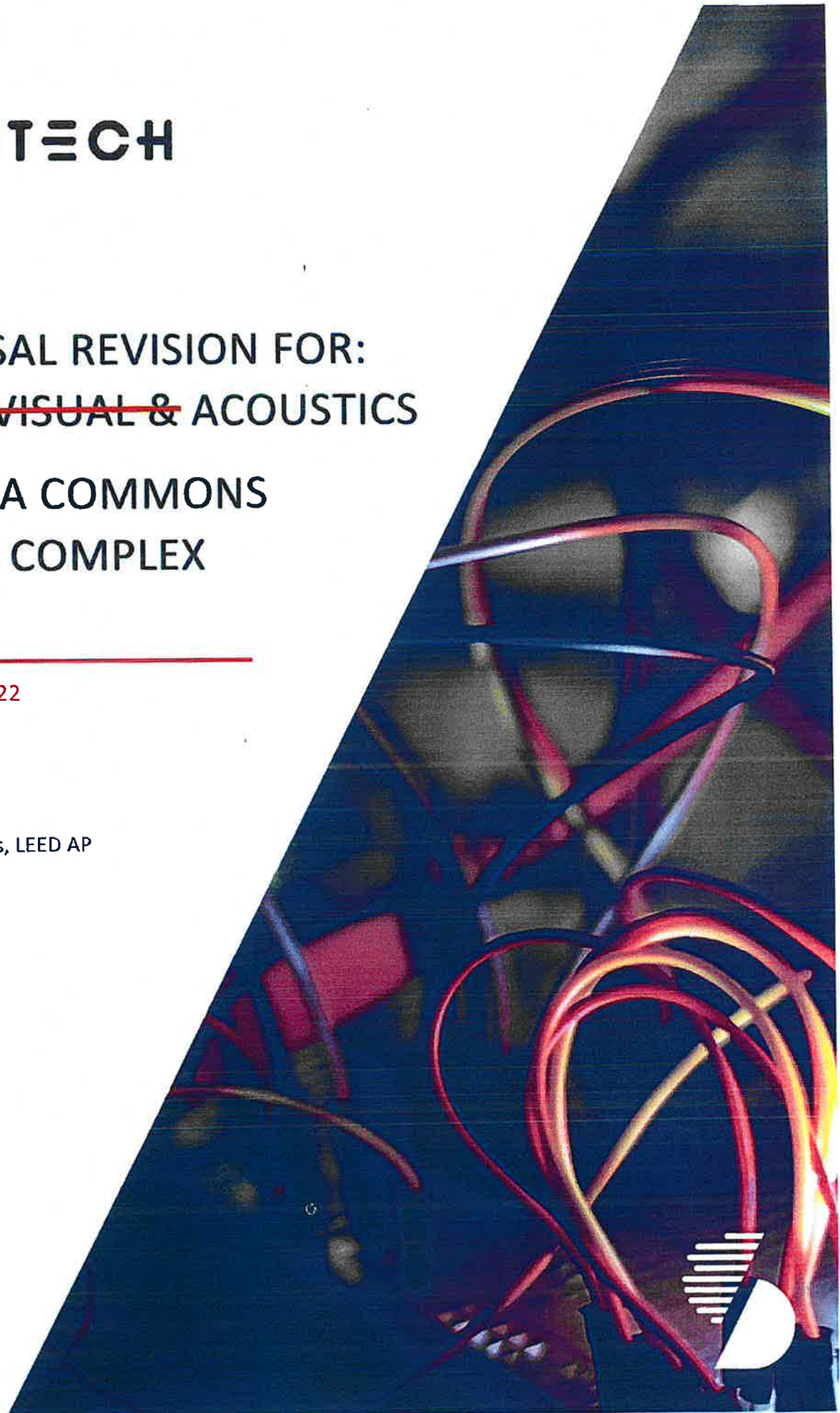
VIRGINIA COMMONS
SPORTS COMPLEX

January 22, 2022

Prepared for:

Jefferey Emmons, LEED AP

EDC



January 22, 2022

Mr, Jeffery Emmons
Senior Project Manager
EDC
1660 Hugunot Road
Midlothian, VA 23113

Subject: Acoustic Treatments VE Revision

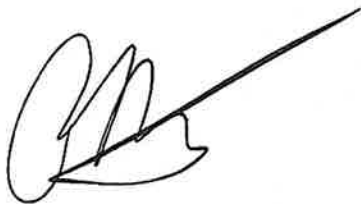
Dear Mr. Emmons,

Solotech is pleased to present its proposal for acoustic treatments for EDC and the Virginia Center Commons Sports Complex project.

Project Management and Sales teams have been involved in the review of the technical specifications and enclosed you will find the Valued Engineered revised totals.

Should you have any questions, please feel free to reach out to me.

Best regards,

A handwritten signature in black ink, appearing to be 'Pete Healey', written over a horizontal line.

Pete Healey

Business Development Representative, Sales & Systems Integration

pete.healey@solotech.com

M +1 615-630-5466

SOLOTECH



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PRIVACY NOTICE

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Solotech U.S. Corporation

FEIN: 20-8718821 / DUNS: 830609629

OFFICERS	Martin Tremblay Nicolas Lavoie Philip Giffard Rod Sintow Mickey Curbishley	President and Chief Executive Officer Secretary and Chief Financial Officer President, Sales & Systems Integration Division Vice-President, Sales & Systems Integration Division President, Live Productions Division, USA, UK
-----------------	--	--

Offices

LAS VEGAS

7465 Dean Martin Drive, Suite 108
Las Vegas, NV 89139
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0071293 (Pro Sound)

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Sun Valley, CA 91352
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California Contractor License 939692

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T. 815 901-0421

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444 W. 47th Street, Suite 900
Kansas City MO 64112-1906
T (816) 960-9000

Contact: Ashleigh L. Sterr
Direct: 816.960.9259

BONDING

Nielsen, Rosenhaus & Associates
220 Congress Park Dr., Suite 100
Delray Beach, FL 33445

Contact: Brett Rosenhaus
T. +1 561 454-8210

BANKING

Desjardins Capital Markets
1170, Peel, suite 300
Montreal, QC H3B 0A9, Canada

Account lead: Mr. Robert Labelle
514.281.7226

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Miami, FL 33161-6525
T. 305 891-1000
Florida Contractor License ES0000149

ORLANDO

1717 Diplomacy Row
Orlando, FL 32809-5703
T. 407 816-9400

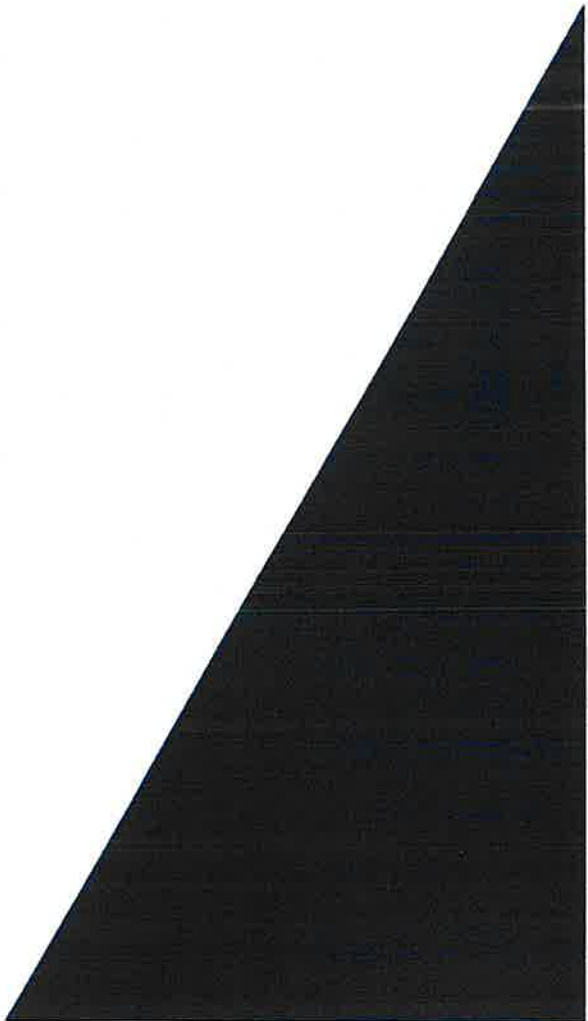
ORLANDO

2426 Viscount Row
Orlando, FL 32809
T. 407 363-1950

PENSACOLA

8812 Grow Drive
Pensacola, FL 32514-7050
T. 850 476-7600

VE PROPOSAL



BUDGET

DESCRIPTION	BID TOTAL	VE AMOUNT	DELTA
AV SYSTEMS			
27-41-16 AV Systems including all Add/Alts	\$727,824.96	\$727,824.96	\$0.00
27-41-40 IPTV	\$255,962.10	\$225,606.24	\$30,355.86
27-41-43 Displays and Mounts	\$252,922.00	\$181,922.52	\$70,999.48
27-60-00 Broadcast Cabling	\$104,892.06	\$5,434.86	\$99,457.20
Sales Tax	\$60,437.00	\$0.00	\$60,437.00
Totals	\$1,402,038.12	\$1,140,787.58	(\$261,250.54)
Acoustic Treatment Integration	\$1,030,678.00	\$1,030,678.00	\$0.00
Added VE Acoustic Materials and Labor*		\$66,201.00	\$64,201.00
Added Curtain Rigging and Labor Scope		\$39,812.00	\$39,812.00
Acoustics Total Materials and Labor		\$1,136,691.00	+\$104,013.00

Rate Schedule 2022

SCHEDULE OF BILLING RATES

EXPIRES January 1, 2023

HOURLY RATES PER CLASSIFICATION

CLASSIFICATION	FEE PER HOUR
Acoustic Consultant	\$250.00
AV & Lighting Design Consultant	\$150.00
Revit Engineer	\$135.00
CAD Engineer	\$90.00
Field Engineer/Programmer	\$100.00
Project Manager	\$90.00
Site Supervisor/Lead Technician	\$90.00
Field Technician	\$70.00
Shop Technician	\$50.00

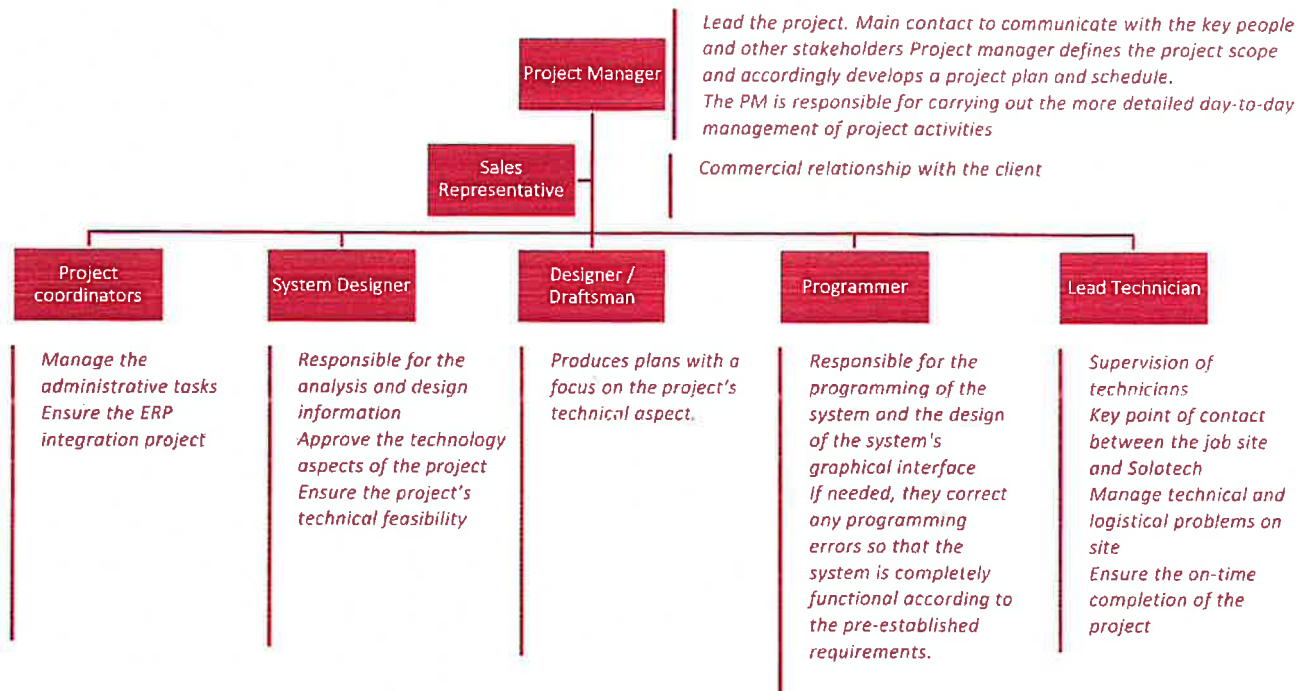
OUR TEAM



The Ingenuity of Solotech

This is where your audiovisual needs are realized and transformed into an outstanding environment through customized solutions that are integrated and installed with great care and precision by our highly qualified staff.

Solotech brings together a variety of complementary specialists within one organization. We provide deep expertise and full-service turnkey solutions, as well as 360° options for audio, video, lighting, rigging, soft goods, control and collaboration systems. Unrivaled inventory of state-of-the-art equipment combined with a highly trained, expert staff is what sets us apart. Our trusted reputation is built on our expertise – there, for whatever you need, 24/7, from start to finish, to create a successfully seamless experience for our clients.



KEY PERSONNEL

Paul Uber | Project Manager & Safety Manager – OSHA30 Certified, Dante Level 2 Certified, CTS-I
Mr. Uber brings more than 16 years of audio and visual (A/V) experience to the team. His extensive experience has helped him competently execute project solutions for sports facilities, auditoriums, indoor and outdoor music venues, churches, restaurants, board and conference rooms for Fortune 500 accounts as well as leading sports and entertainment venues nationally.

Rob O’Keefe | Chief Integrator - OSHA30 Certified, Dante Level 2 Certified
Seasoned site AV integration lead and Superintendent on projects ranging from service calls to NFL, MLS, and MLB stadiums, music venues, education, government, Houses of Worship, and corporate spaces. Collaborating seamlessly with other trades and general contractor staff, in addition to being the face of Solotech to the client and their representatives, Mr. O’Keefe brings over 20 years of experience.

Luke Lasater | Design Engineer OSHA30, Dante Level 3, Crestron, CTS-D
Over the past decade, Mr. Lasater has helped clients successfully fulfill their visions through design, installation, training and operation of mobile and installed audio, video, lighting and integrated control systems. Luke’s diverse experience gives him a unique perspective when designing systems, ensuring the client needs are met while the systems are easy to operate for the end user, regardless of their complexity.

Landon Storey | Field Engineer - OSHA30 Certified, Dante Level 3 Certified, QSYS 1, Syn-Aud-Con
With over fifteen years experience installing, programming, trouble shooting and making the client happy, Mr. Storey is an invaluable asset to Solotech and our customers. Whether for churches, music venues, sport facilities or The LEGO Store, his final touch helps deliver the final touches for our clients vision.

Daniel Sanders - OSHA30 Certified, Dante Level 2 Certified, QSYS 1
Mr. Sanders has over 10 years experience as a field technician, site supervisor and project supervisor. His days consist of overseeing and working alongside the onsite team of technicians under the direction of the Project Manager. Co-ordinate daily tasks between the technicians, General Contractors and the client. With safety a priority Mr. Sanders leads daily start up and safety meetings for the onsite technicians and complete daily progress reports.

OUR SERVICE CENTERS



SERVICE CENTERS

PEACE OF MIND



Enjoy peace of mind thanks to our 24/7 Service Centers offering support for your equipment and installation: repairs, technical support, and much more.

Service and Repair Centers

Purchasing equipment from Solotech automatically means you'll have no worries with your audiovisual installation project. Our Service Centers offer a range of options to ensure timely response to all your requests. Our call center is open 24/7/365 and offers full warranty management. Ongoing training programs and ensures our qualified team of technicians remain informed with our manufacturers' most recent updates. Our goal is to offer top-quality service that is versatile and effective.

Our Expertise

Our technicians are experts in video, audio, lighting, electronics, IT, home automation, control and much more. They conduct rigorous testing in our repair shops, on your premises or remotely and find solutions to thousands of challenging situations every day.



VIDEO



SOUND



LIGHTING



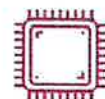
AUTOMATION



MONITORING
CAMERA



RF



ELECTRONICS



COMPUTER

Solotech Basic Warranty

For a period of 90 days, Solotech's basic warranty applies to all new equipment installed by Solotech. Services included:

- Workforce ensuring integration and smooth operation of the facility;
- Management of the manufacturer's warranty;
- Transport and complete handling of defective equipment.

Service Plans

THE PERFECT COMPLEMENT TO YOUR BUYING EXPERIENCE AT SOLOTECH!

In addition to the basic warranty, Solotech offers three service plans to meet the various operational challenges faced by our customers in their respective fields.

PRIVILEGED	SERVICE+
<ul style="list-style-type: none">• Priority access to technical experts on service calls• Investigation of fault over the phone• Possibility of reserving periodic time slots• Preferential hourly rate for technical support• Preventive maintenance with report and recommendations	<ul style="list-style-type: none">• Real-time monitoring of your equipment• Immediate fault detection through automated alerts• Fast remote resolution <p>Combine it to the Privileged plan for a turnkey solution.</p>

Customer Portal (option)

We also offer the opportunity for you to benefit from this very convenient tool, allowing you to have an excellent overview on your requests, equipment and more. Customize your dashboard according to your needs!

- Dynamic tool, updated in real time
- Monitoring key performance indicators
- Consultation of the history/executed work
- Simple and effective management of your technical requests
- Accessible 24/7, everywhere: mobile device, tablet, computer

OUR WORK



OUR WORK



Talking Stick Arena – Phoenix, AZ 2020

Audio, Communication, & Control Systems.

San Diego Symphony Bayside Performance Park – San Diego, CA 2020

Audio Systems

Murphey Center Arena – Murfreesboro, TN 2020

Acoustic Consulting

College Preparatory School Gymnasium, Oakland, CA 2020

Design-build services for acoustics and audio system.

Ford Ice Center - Bellevue, TN 2020

Design-build services for audio visual systems.

Topgolf Swing Suite & Lounge – Kirkland, WA 2020

Design-build services for acoustics, performance audio visual systems.

Nielsen Media – New York, NY 2020

Design-build services for audio systems, interactive media lounge, video collaboration & conferencing.

Bridgestone Arena – Nashville, TN 2019

Design-build services for Solutube LED Stanchions, VIP Suites, VIP Lounges, & Video Distribution

Centennial Sportsplex – Nashville, TN 2019

Design-build services for video distribution

Disney's Star Wars: Galaxies Edge – Orlando, FL 2019

Design-build services for audio visual and themed entertainment systems.

MGM Park Theater – Las Vegas, NV 2019

Design-build services for audio & stage lighting systems.

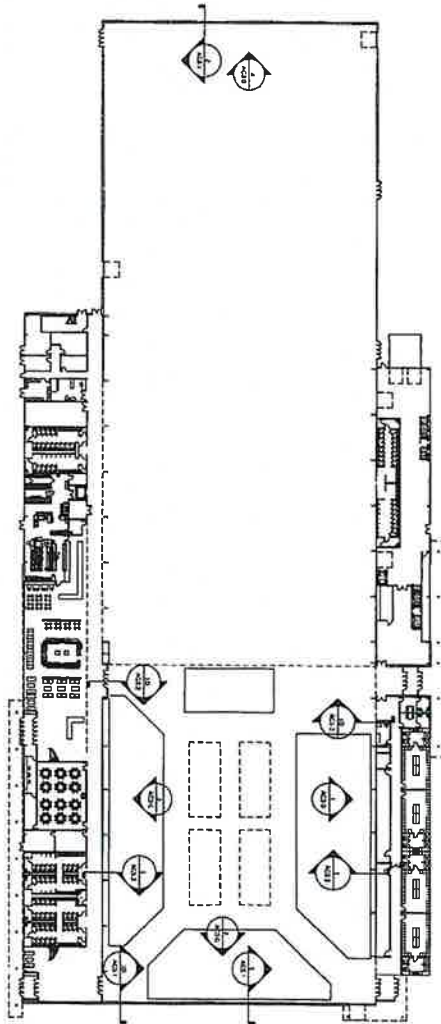
Caesars Palace – Las Vegas, NV 2019

Design-build services for audio & stage lighting systems.

SOLOTECH

solotech.com

Montreal | Ottawa | Quebec | Saguenay | Toronto | Chicago | Los Angeles | Las Vegas | Miami | Nashville | Orlando | Pensacola
Birmingham | London | Manchester



1 PLAN VIEW
Scale: 1/32" = 1'-0"



11000 TELEGRAPH ROAD
GLEN ALLEN, VA 23060



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 Fax: (703) 881-1200
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 Suite 100
 Glen Allen, VA 23060
 Tel: (703) 881-1200
 Fax: (703) 881-1200



VIRGINIA CENTER COMMONS
 SPORTS COMPLEX
 11000 TELEGRAPH ROAD
 GLEN ALLEN, VA 23060

ACOUSTICS SYSTEMS
 DESIGN

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11-14-2015
2	ISSUED FOR CONSTRUCTION	11-14-2015
3	ISSUED FOR CONSTRUCTION	11-14-2015
4	ISSUED FOR CONSTRUCTION	11-14-2015
5	ISSUED FOR CONSTRUCTION	11-14-2015
6	ISSUED FOR CONSTRUCTION	11-14-2015
7	ISSUED FOR CONSTRUCTION	11-14-2015
8	ISSUED FOR CONSTRUCTION	11-14-2015
9	ISSUED FOR CONSTRUCTION	11-14-2015
10	ISSUED FOR CONSTRUCTION	11-14-2015

PROJECT: VIRGINIA CENTER COMMONS
 ADDRESS: 11000 TELEGRAPH ROAD
 GLEN ALLEN, VA 23060
 DATE: 11-14-2015
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

AC1.0



DESIGN TECHNIX



SOLOTECH
simply spectacular

11000 TELEGRAPH ROAD
GLEN ALLEN, VA 23060
TEL: 804.702.0100
FAX: 804.702.0101
WWW.SOLOTECH.COM



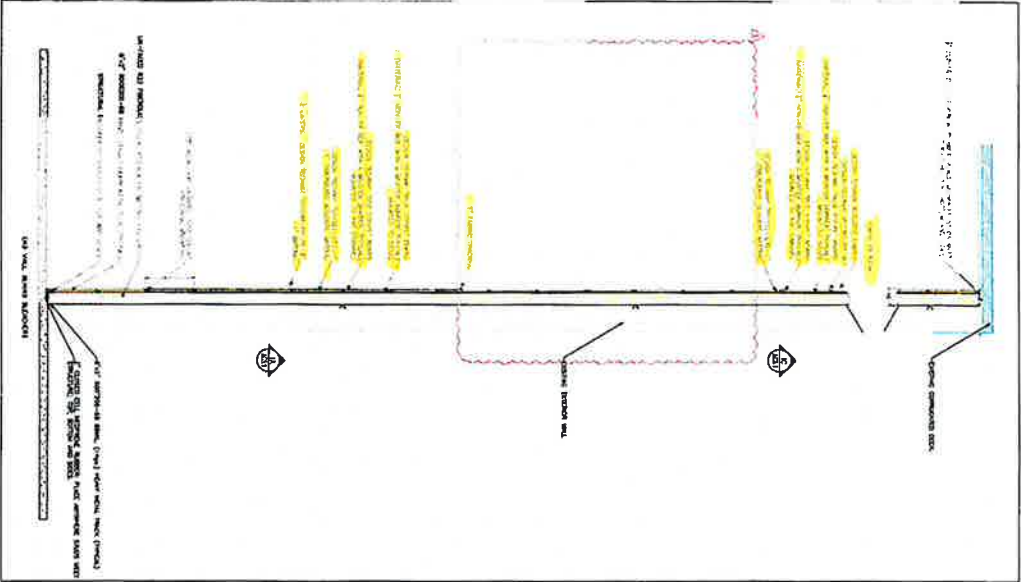
VIRGINIA CENTER COMMONS
SPORTS COMPLEX
11000 TELEGRAPH ROAD
GLEN ALLEN, VA 23060

ACOUSTICS SYSTEMS
DESIGN

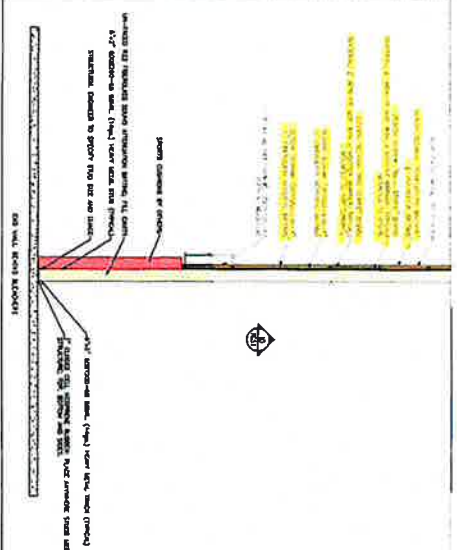
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DATE:	11/19/2020	
SCALE:	1/2" = 1'-0"	
REVISIONS:		
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8	ISSUED FOR CONSTRUCTION	11/19/2020
9	ISSUED FOR CONSTRUCTION	11/19/2020
10	ISSUED FOR CONSTRUCTION	11/19/2020

WALL DETAIL
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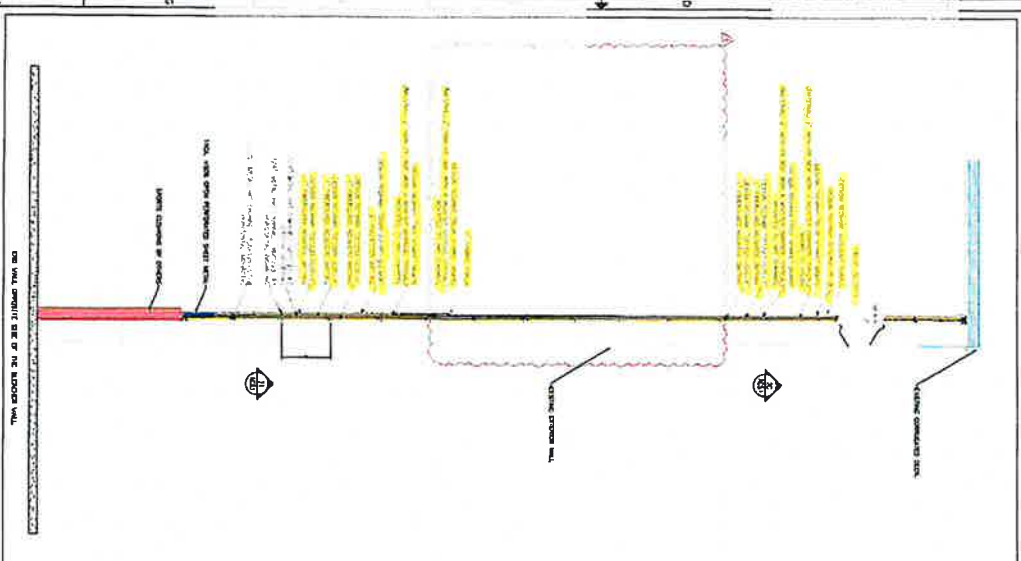
ACCS-1



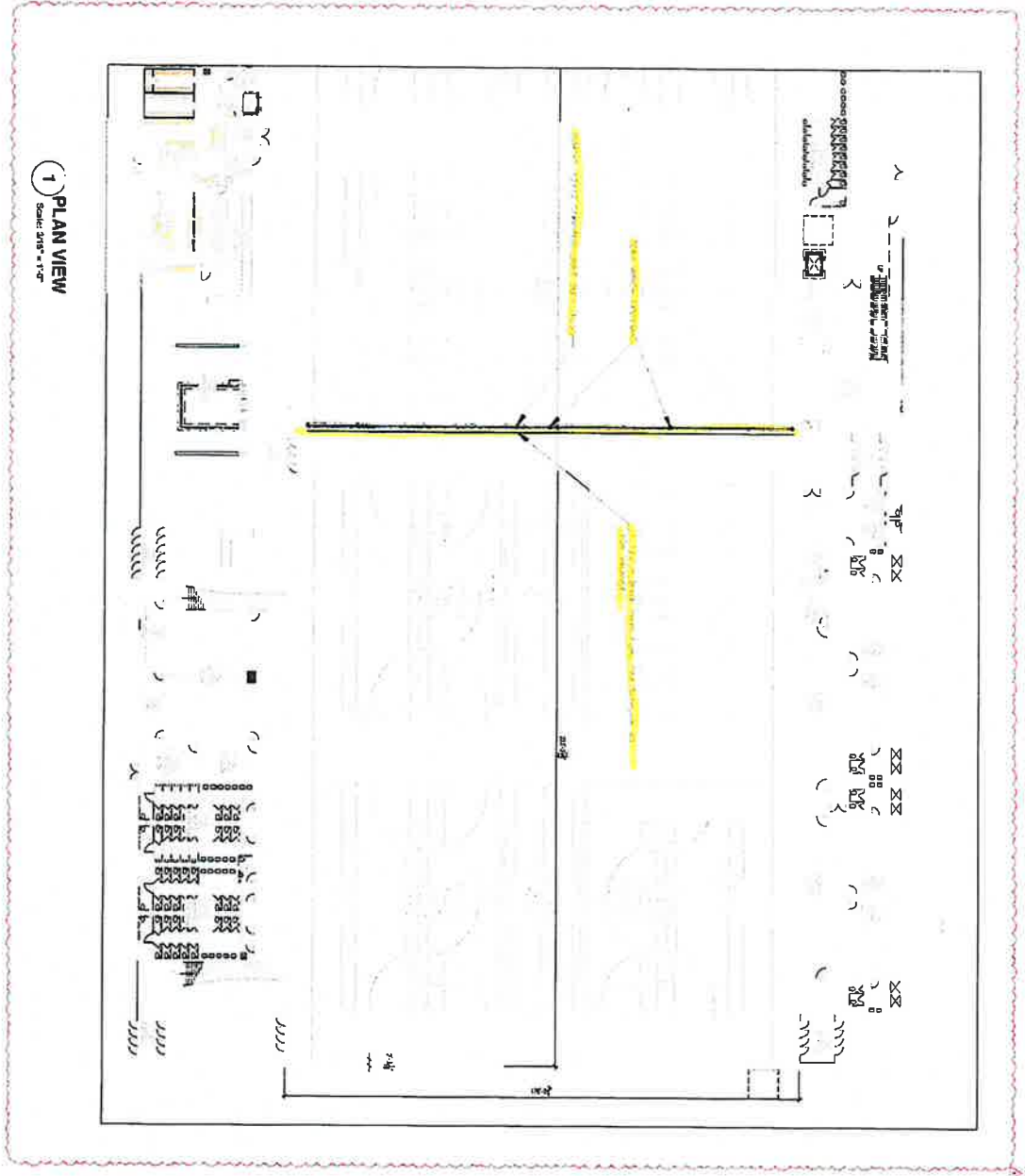
1 WALL SECTION
Scale: 1/2" = 1'-0"



1D WALL SECTION
Scale: 1/2" = 1'-0"



2 WALL SECTION
Scale: 1/2" = 1'-0"



1 PLAN VIEW
Scale: 1/8" = 1'-0"



PROJECT: VIRGINIA CENTER COMMONS	DATE: 11/9/18
REVISION: 1	
DATE: 11/9/18	
PROJECT: VIRGINIA CENTER COMMONS	DATE: 11/9/18
REVISION: 1	
DATE: 11/9/18	
PROJECT: VIRGINIA CENTER COMMONS	DATE: 11/9/18
REVISION: 1	
DATE: 11/9/18	

ACOUSTICS SYSTEMS DESIGN

VIRGINIA CENTER COMMONS
SPORTS COMPLEX
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GLEN ALLEN, VA 23060



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Ft. Worth, TX 76116
7546 Oak Park Drive
Ft. Worth, TX 76116
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214.733.8222
214.733.8222



ACB.0



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 GLEN ALLEN, VA 23060
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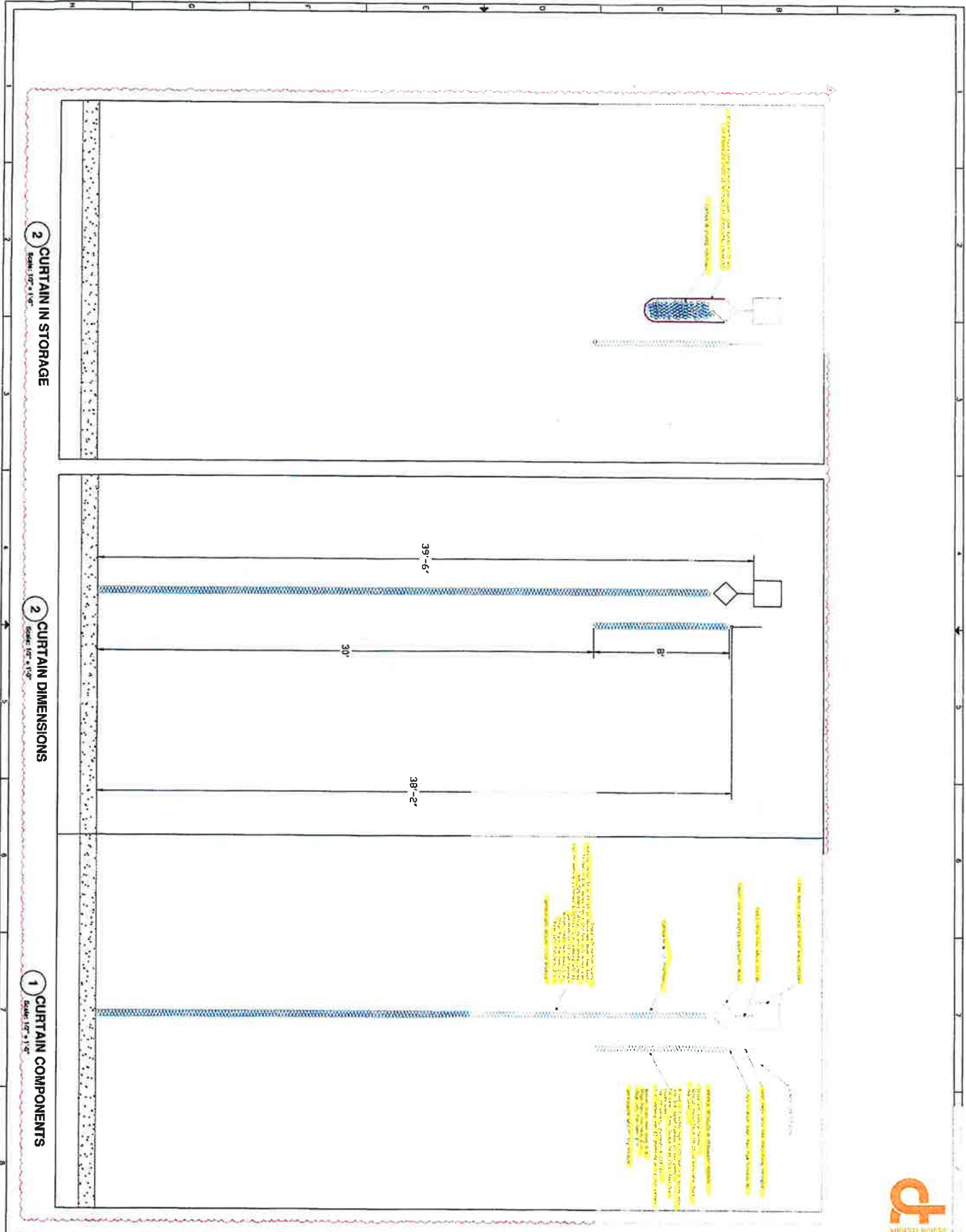


VIRGINIA CENTER COMMONS
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 GLEN ALLEN, VA 23060

ACOUSTICS SYSTEMS
 DESIGN

NO.	DESCRIPTION	DATE
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2	ISSUED FOR CONSTRUCTION	11/11/11
3	ISSUED FOR AS-BUILT	11/11/11
4	ISSUED FOR FINAL	11/11/11
5	ISSUED FOR ARCHIVE	11/11/11

DATE: 11/11/11
 SHEET: 11/11/11
 PROJECT: VIRGINIA CENTER COMMONS
 DRAWN: J. SMITH
 CHECKED: M. SMITH
 APPROVED: M. SMITH
 AC8.2



2 CURTAIN IN STORAGE
 SCALE: 1/8" = 1'-0"

2 CURTAIN DIMENSIONS
 SCALE: 1/8" = 1'-0"

1 CURTAIN COMPONENTS
 SCALE: 1/8" = 1'-0"



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NEW ADDRESS: 200
W. 12th Street
PO Box 1000
Glen Allen, VA 23060
Tel: (804) 833-8100
Fax: (804) 833-8100
www.solotech.com

VIRGINIA CENTER COMMONS
SPORTS COMPLEX
11000 TELEGRAPH ROAD
GLEN ALLEN, VA 23060

ACOUSTICS SYSTEMS
DESIGN

DATE: 11/19/2010
PROJECT: TELEGRAPH
ADDRESS: 11000
DRAWN BY: JLD
CHECKED BY: JLD
SCALE: AS SHOWN
CUT: 1/4"=1'-0"

AC8.3

TOPIC T-RUSS

Light-duty truss 12 x 12 spigoted

1. Includes heavy 12 x 12 spigoted
2. System height available upon request
3. System height available upon request
4. Dimensions are 1200 x 1200
5. Available in 12' and 18' lengths

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HK 800 INSTALLATION INSTRUCTIONS

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DO NOT SCALE DRAWING

TOPIC T-RUSS
SWITCH- NET 200T 12A 125V
300000001
A
390000420
0

Exhibit 2: Change Request Number 08 Revised September 7, 2022

First Change Order
Comprehensive Agreement
Henrico County Indoor Sports Complex
Glen Allen, VA



1660 Huguenot Road
Midlothian, VA 23113
Ph : (804) 897-0900

Change Request

To: McNeal, Brian
2800 Patterson Ave.
Suite 200
Richmond, VA 23221

Number: 08 Revised
Date: 9/7/22
Job: 21-024 Henrico Sports Complex

Description: Bulletin #2 - Add 2nd Floor
Source: Revision

We are pleased to offer the following specifications and pricing to make the following changes:


Add 2nd floor per Bulletin #2 plan update. Includes 6 weeks of schedule impacts to project.

Includes modification to concrete, structural steel, addition of exterior stairs with concrete enclosure for added egress along with 2nd elevator, full fire sprinkler coverage, (2) additional RTUs along with reworking 1st floor ductwork, additional fire alarm devices and storefront windows for new space per updated drawings dated July 12, 2022.

Includes revision per Bulletin #3 deleting 2nd floor distribution ductwork, receptacles and lighting on NW and SW mezzanine and modifying the exterior stairs. Bulletin #3 drawings show a 3 piece slider window at the opening into the gymnasium, these are being priced as 2 panel sliders.

The total amount to provide this work is \$756,612.12
(Please refer to attached sheet for details.) Please contact me if you have any questions.

Please note that EDC will require an extra 6 weeks.

Submitted by: Jeffrey Emmons 
EDC

Approved by: _____
Date: _____



BUILD WELL

1660 Huguenot Road
 Midlothian, VA 23113
 Ph : (804) 897-0900

**Change Request 08 Revised Price Breakdown
 Continuation Sheet**

Description: Bulletin #2 - Add 2nd Floor

Cost Code	Description	Labor	Material	Subcontract	Other	Price
01-900	Added General Conditions/Supervision	\$ 0.00	\$ 0.00	\$ 0.00	\$ 72,660.00	\$ 72,660.00
03-100	Additional Concrete at 2nd Floor and Stairs	\$ 0.00	\$ 0.00	\$ 80,346.30	\$ 0.00	\$ 80,346.30
03-100	Concrete at Window Openings	\$ 0.00	\$ 0.00	\$ 9,141.71	\$ 0.00	\$ 9,141.71
05-200	Supply Steel for 2nd Floor	\$ 0.00	#####	\$ 0.00	\$ 0.00	\$ 186,427.50
05-300	Structural Steel Erection	\$ 0.00	\$ 0.00	\$ 17,686.00	\$ 0.00	\$ 17,686.00
05-300	Installation of Stairs	\$ 0.00	\$ 0.00	\$ 10,000.00	\$ 0.00	\$ 10,000.00
08-200	Hollow Metal Doors/Frames	\$ 0.00	\$ 10,446.30	\$ 0.00	\$ 0.00	\$ 10,446.30
08-400	Sliding Windows	\$ 0.00	\$ 0.00	\$ 42,110.00	\$ 0.00	\$ 42,110.00
08-400	Storefront Glass	\$ 0.00	\$ 0.00	\$ 10,530.00	\$ 0.00	\$ 10,530.00
09-100	Vestibule Ceiling	\$ 0.00	\$ 0.00	\$ 2,158.12	\$ 0.00	\$ 2,158.12
09-500	Painting at Stairwell	\$ 0.00	\$ 0.00	\$ 7,500.00	\$ 0.00	\$ 7,500.00
14-100	Elevators	\$ 0.00	\$ 0.00	\$ 100,300.00	\$ 0.00	\$ 100,300.00
15-100	Fire Sprinkler	\$ 0.00	\$ 0.00	\$ 20,458.00	\$ 0.00	\$ 20,458.00
15-300	HVAC	\$ 0.00	\$ 0.00	\$ 89,520.00	\$ 0.00	\$ 89,520.00
15-300	Delete Ductwork - SW Mezz	\$ 0.00	\$ 0.00	\$(26,543.00)	\$ 0.00	\$(26,543.00)
16-100	Electrical	\$ 0.00	\$ 0.00	\$ 72,795.61	\$ 0.00	\$ 72,795.61
16-100	Delete Lights - SW Mezz	\$ 0.00	\$ 0.00	\$(9,481.23)	\$ 0.00	\$(9,481.23)

	Subtotal:		\$696,055.31
PL/GL/BR	\$696,055.31	0.90%	\$6,264.50
P&P Bond	\$696,055.31	0.80%	\$5,568.44
Fee	\$696,055.31	7.00%	\$48,723.87
	Total:		\$756,612.12



Re: Virginia Center Commons Sports Complex

Date: 7/12/22

BULLETIN #2 REVISION NARRATIVE

The following is a summary of drawing modifications and clarifications to the "Bulletin #1" set dated 4/12/22. The latest revisions pertaining to issued sketches, RFI responses, revisions, and miscellaneous clarifications is labeled with a delta #7 as part of the "Bulletin #2" set dated 7/12/22.

Sheet	Description
T1.1	1. Added sheet A8.7.
T1.2	1. Added future expansion 176 to allowable occupancy schedule.
T1.3	1. Added egress for expansion 176.
A1.0	1. Added elevator pit and doors to the west wing of building. 2. Added slab for mezzanine at northwest wing of building. 3. Exterior Stair 6 added.
A1.1a	1. Changed Storage Room 165 to Elevator B.
A1.1c	1. Changed Storage Room 165 to Elevator B and added detail tag. 2. Added elevation tag 27/A10.3 3. Added exterior Stair 6.
A1.1e	1. Made reception desk visible and added dimensions.
A1.1f	1. Added dimensions for stair 6.
A1.2a	1. Added Elevator B. 2. Added Hallway 175 and Future Expansion 176.
A1.2c	1. Added Elevator B and detail tag. 2. Added doors 175 and 176. 3. Added Hallway 175 and Future Expansion 176. 4. Removed window NN4. 5. Added stair 6 and door 180. 6. Added elevation tags 28 through 31 / A10.4.
A1.2f	1. Added Elevator B. 2. Dimensioned new elevator and doors. 3. Added dimension for door 180 at stair 6.
A2.1a	1. Added SWP fixtures for reference to match wall packs in electrical and civil drawings.
A2.1c	1. Updated ceiling height of Vestibule 100 and Lobby 171. 2. Added Elevator B and elevator pit lights. 3. Added ceiling finish tag for stair 6.
A2.1f	1. Showed light fixtures of Vestibule 100 and Lobby 171.
A2.2a	1. Added Hallway 175 and Future Expansion 176.
A2.2b	1. Removed GL-1 fixture in front of Electrical room 170 and added XWP-A fixture above door.

A2.2c	1. Added ceiling finish and lights to Hallway 175 and Future Expansion 176.
A2.2f	1. Updated light locations in furniture expansion 201 around new Elevator B., 2. Dimensioned lights in Hallway 175 and Future Expansion 176.
A2.3	1. Added SWP fixtures for reference to match wall packs in electrical and civil drawings.
A4.1	1. Added panel joint detail 6 for clarity. 2. Added panel joints and detail tag in elevations for clarity.
A4.2	1. Added panel joints and detail tag in elevations for clarity. 2. Added exterior stair 6.
A4.3	1. Added panel joints and detail tag in elevations for clarity. 2. Added exterior stair 6.
A5.1	1. Added some vertical dimensions per request.
A6.4	1. Added mezzanine slab and updated vestibule ceiling height.
A6.5	1. Added mezzanine slab.
A7.1	1. Added tags for tiltup walls around exterior stair 6.
A8.5	1. Added plan details 9 and 10 for added Elevator B.
A8.7	1. Added sheet for exterior Stair 6.
A9.1	1. Updated T-3.
A9.2	1. Added door 180.
A9.3	1. Updates to match recent glazing shops. 2. Added note to window K. 3. Updated glass types in schedules. 4. Removed window PP & NN4. 5. Removed spandrel glass from NN windows.
A10.2	1. Elevation 3 updated tag.
A10.3	1. Updated elevations 15, 16, and 17. 2. Added elevation 27.
A10.4	1. Added elevations 28 through 31.
A12.1c	1. Added floor finish to Elevator B.
A12.1g	1. Updated bleachers to latest known.
A12.2c	1. Added Hallway 175 and Future Expansion 176 and added floor finishes
Civil	No updates.
Landscape	No updates.
Structural	See attachment.
Kitchen	No updates.
Mechanical	See attachment.
Plumbing	See attachment.
Electrical	See attachment.
AV	No updates.
Acoustic	No updates.

Thank you,
Aria Group Architects, Inc.

HENRICO COUNTY SPORTS AND EVENT COMPLEX

STRUCTURAL – BULLETIN #2

2022.07.12

ITEM NO 1 – SHEET S0.2:

1. Updated seismic base shear to reflect addition of seismic mass at the Northwest mezzanine.
2. Revised "Structure Design Loads" plan view to show loading at Northwest mezzanine.

ITEM NO 2 – SHEET S1.1B:

1. Removed recessed slab per RFI #33.

ITEM NO 3 – SHEET S1.1C:

1. Added foundation, walls and corresponding details and elevation references for exterior stair enclosure for Northwest mezzanine access.

ITEM NO 4 – SHEET S1.1D:

1. Removed temporary slab over elevator pit, added sump pit, and elevator side rails for Northwest mezzanine access.

ITEM NO 5 – SHEET S1.2C:

1. Added floor structure and related notes/details at the mezzanine level.
2. Added graphics and details for exterior stair enclosure and new door opening.

ITEM NO 6 – SHEET S1.2D:

1. Added opening in slab for elevator shaft along with corresponding details for slab edge and elevator rail supports.

ITEM NO 7 – SHEET S1.3C:

1. Added graphics to show new rooftop units and weights.
2. Added graphics to show exterior stair enclosure.

ITEM NO 8 – SHEET S1.3D:

1. Added HSS5x5 tube at elevator – size and location to be specified by elevator MNFR.

ITEM NO 9 – SHEET S2.2:

1. Revised tilt-up wall to include man-door opening from exterior stair landing to Northwest mezzanine floor.

ITEM NO 10 – SHEET S2.4:

2. Added new openings and trim reinforcement in tilt-up walls shown in elevation views 3 and 4.

ITEM NO 11 – SHEET S2.5:

3. Added new sheet with elevation views for exterior stair enclosure walls.

ITEM NO 12 – SHEET S3.2:

1. Detail 4: Removed temporary slab and added side rail post attachment information.

ITEM NO 13 – SHEET S5.6:

1. Added detail 5 for elevator side rail support at extended slab on metal deck.

ITEM NO 14 – SHEET S5.42:

1. Added detail 7 which applies at the West-side main entry at the mezzanine level from grids 10.1 to 11.



Engineering • Design • Consulting

July 11th, 2022

Aria Group
830 North Blvd.
Oak Park, IL 60301

Re: 2002595M – Henrico Sports Complex

Please find below the MEP revisions with regards to Bulletin #2,

Mechanical

1. M1.1e – Relocated supply and return duct drops.
2. M1.2e – Added RTU's for additional mezzanine and routed new ductwork. Rerouted existing ERV duct drops for first floor.
3. M2.1b – Added rooftop units.

Plumbing

4. P1.0e – Underground storm piping was shifted.
5. P1.1e – Storm, overflow and vent were shifted for mezzanine and stair addition.
6. P1.2e – Storm and overflow drain piping were re-routed. Vent was shifted

Electrical

7. E1.1e – Added fused disconnects near panels for new elevator. Revised power for electric water cooler. Added elevator pit pump and elevator pit receptacle.
8. E1.2b – Added mezzanine receptacles. Added rescue assistance two-way communication at new elevator on mezzanine level.
9. E1.3b – Added power to two (2) new RTU's.
10. E2.2b – Added lighting to mezzanine level and new stairwell.
11. E2.1e – Added lighting to new stairwell and at exterior stairwell man door.
12. E3.1c – Added fire alarm remote test stations for two (2) new RTU's.





13. E3.1e - Added elevator lobby smoke detector. Added elevator pit smoke & heat detector.
14. E3.2b – Added notification and invitation device in mezzanine. Added elevator lobby smoke detector on mezzanine level. Added elevator pit smoke & heat detector on mezzanine level.
15. E3.3b – added duct smoke detector for two (2) RTU's.
16. E4.4 – Modified panel schedules for new circuits.
17. E4.6 – Modified rescue assistance intercom detail to include additional intercom station at new elevator.

Regards,

The W-T Group, LLC

**Robert Chrachol, PE
Electrical Engineer**



Re: Virginia Center Commons Sports Complex

Date: 8/18/22

BULLETIN #3 REVISION NARRATIVE

The following is a summary of drawing modifications and clarifications to the "Bulletin #2" set dated 7/12/22. The latest revisions pertaining to issued sketches, RFI responses, revisions, and miscellaneous clarifications is labeled with a delta #8 as part of the "Bulletin #3" set dated 8/18/22.

Sheet	Description
T1.2	1. Updated toilet requirements per addition of Future Expansion 176
A1.1a	1. Relocated door 126n to north wall of gym per County request. Note that final bleacher layout may be affected by this relocation and must take into account clearances.
A1.1d	1. Dimensioned door 126n at new location.
A1.2c	1. Plan 1: added windows TT to interior gym wall. 2. Plan 1: window NN4 added back near Stair 6.
A1.2f	1. Dimensions updated/added per A1.2c revisions.
A2.1b	1. Updated paint color of all exposed deck ceilings.
A2.1c	1. Updated paint color of all exposed deck ceilings.
A2.2b	1. Updated paint color of all exposed deck ceilings.
A2.2c	1. Updated paint color of all exposed deck ceilings.
A3.1	1. Updated Stair 6 parapet height.
A4.2	1. Updated elevation 1 per new Stair 6 design.
A4.3	1. Updated elevations per relocation of door 126n.
A8.7	1. Stair 6 straightened in lieu of switch back. Sheet revised. 2. Added stair elevation and details.
A9.2	1. Added hardware set 29 for door 180.
A9.3	1. Added window NN4 back into the project. 2. Added window TT which faces the gymnasium special events area. 3. Type CC updated to remove horizontal mullions per shop comments and previous correspondence.
A10.1	1. Updated elevation 2 per windows TT addition 2. Updated wall finishes on elevation 5 per latest VE, removed wood.
A12.1b	1. Plan 2: Updated wall finishes on gym side per latest VE, removed wood.
A12.1c	1. Updated floor finish under exterior stair.
A12.2b	1. Updated floor finish at detail on gym side of security room.
A12.2c	1. Updated floor finish on exterior stair top landing.
Civil	No updates.
Landscape	No updates.
Structural	See attachment.
Kitchen	No updates.
Mechanical	No updates.
Plumbing	No updates.
Electrical	See attachment.

AV	No updates.
Acoustic	No updates.

Thank you,
Aria Group Architects, Inc.

HENRICO COUNTY SPORTS AND EVENT COMPLEX

STRUCTURAL – BULLETIN #3

2022.08.18

ITEM NO 1 – SHEET S1.1C:

1. Revised exterior stairs to reflect stair revision.

ITEM NO 2 – SHEET S1.2C:

1. Added framing and associated details for exterior stair.
2. Added keynotes 1-3 to clarify stair design criteria and framing sizes/requirements.

ITEM NO 3 – SHEET S1.3C:

1. Removed exterior stair wall graphics from roof plan.

ITEM NO 4 – SHEET S2.2:

1. Detail 1 - Revised tilt-wall panel at “West Wall Elevation – Area C” to include strip window.

ITEM NO 5 – SHEET S2.3:

1. Detail 1 - Added overhead door opening and associated reinforcement to “North Gymnasium Wall End Wall Elevation”
2. Detail 2 - Removed overhead door opening and associated reinforcement from “South Gymnasium Wall End Wall Elevation”

ITEM NO 6 – SHEET S2.4:

1. Detail 1 - Added spectator window openings to (9) tilt-wall panels at “Wall Elevation – GL B”.

ITEM NO 7 – SHEET S2.5:

1. Detail 1 - Revised tilt-wall elevation for exterior stairs to reflect stair revisions.

ITEM NO 8 – SHEET S3.1:

1. Detail 18 - Added note to refer to civil for SOG requirements at “SIM” condition (where sim condition is located at exterior stairs).

ITEM NO 9 – SHEET S5.3:

1. Detail 16 - Added note providing additional criteria for embed angles exposed to weather.

ITEM NO 10 – SHEET S5.22:

1. Detail 14 “Stringer at Exterior Stairs” added.
2. Detail 15 “Railing at Exterior Stairs” added.
3. Detail 18 “Post-Installed Plate at Exterior Stairs” added.



Engineering • Design • Consulting

August 8th, 2022

Aria Group
830 North Blvd.
Oak Park, IL 60301

Re: 2002595M – Henrico Sports Complex

Please find below the MEP revisions with regards to Bulletin #3,

Electrical

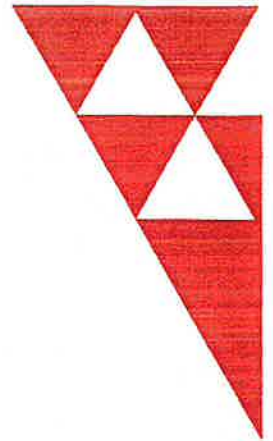
1. E1.1a – Remove power to overhead door motor located at Southeast gymnasium.
2. E1.1c – Added power to overhead door motor located at Northeast gymnasium. Remove power to over door located at Northwest gymnasium.
3. E2.1e – Revise exterior lighting for exterior stair from mezzanine.
4. E2.2b – Revise exterior lighting for exterior stair from mezzanine. Revised lighting in Hallway 175.
5. E4.4 – Panel schedules revised for overhead door motor revision.

Regards,

The W-T Group, LLC

A handwritten signature in black ink, appearing to read 'R. Chrachol', written over a white background.

Robert Chrachol, PE
Electrical Engineer





**Cleveland
Cement
Contractors, Inc.**

15840 Sabra Way; Colonial Heights, VA 23834
Phone (804) 524-2280 Fax (804) 524-2441

July 21, 2022 revised August 26, 2022

EDC
1660 Huguenot Road
Midlothian, VA 23113

Attn: Mr. Jeffrey Emmons

RE: Henrico Sports Complex – Bulletin # 2 **REVISED**

Jeff,

Attached please find Cleveland COR request # 4 for Bulletin 2 documents

~~Price \$104,805.58~~ **REVISED PRICE \$80,346.30**

This adds 6 weeks to our durations.

COR # 5 will address the ad-alternate you requested.

Thanks,

A handwritten signature in blue ink, appearing to read 'JHulsey II', is written over the printed name and title of the sender.

Cleveland Cement Contractors, Inc.
James H. Hulsey II, P.E.
Vice President

SUBCONTRACTOR ESTIMATE FOR CHANGE ORDER

SC-1

Project Code:
 Agency:
 Project:
 Henrico Sports Complex


General Contractor: EDC
 Subcontractor: Cleveland Cement
 Subcontractor Trade: Concrete

Change Description: Bulletin 2 Drawings revised 08-26-2022

SUBCONTRACTOR DIRECT COSTS									
Item No.	Scope Description	Direct Labor			Direct Material		Direct Equipment		
		Direct Labor Hours Per Unit	Hourly Wage Rate, Excl. Taxes & Ins.	Total Labor Cost	Material Cost Per Unit	Total Material Cost	Equipment Cost Per Unit	Total Equipment Cost	
A	B	E	G	H = F x G	I	J = C x I	K	L = C x K	
1.01		0.00		\$0.00		\$0.00		\$0.00	
1.02	\$1.1b delete depression	0.38	\$48.88	(\$1,173.12)	\$3.50	(\$224.00)		\$0.00	
1.03		0.00		\$0.00		\$0.00		\$0.00	
1.04	\$1.1c	0.00		\$0.00		\$0.00		\$0.00	
1.05	Add foundations @ stair (rev)	7.22	\$48.88	\$1,564.16	\$155.00	\$988.74	\$150.00	\$664.58	
1.06	Add-SoG	0.04		\$0.00	\$1.10	\$188.63	\$0.50	\$90.74	
1.07	add rebar (rev)	8.00	\$48.88	\$391.04		\$0.00		\$0.00	
1.08	cont. next page	0.00		\$0.00		\$0.00		\$0.00	
1.09	Subtotal from Estimate Continuation Sheets			\$22,233.33		\$34,328.51		\$11,354.92	
1.97	Subtotal (S/T) Direct Costs:			\$23,016.41		\$34,990.88		\$12,120.24	
1.98	Taxes/Insurance:			% of Item 1.97H		\$2,099.45		\$642.37	
1.99	Total Direct Costs			\$23,016.41		\$37,090.33		\$12,762.62	

SUB-SUBCONTRACT COSTS		
Item No.	Sub-Subcontractor Name	Total Cost
A	B	C
2.01	(List totals from attached SS-1 forms)	
2.02		
2.03		
2.04		
2.05		
2.99	Total Sub-Subcontract Costs	\$0.00

SUMMARY		
Item No.	Description	Total Cost
3.01	Total Direct Labor Cost	\$23,016.41
3.02	Total Direct Material Cost	\$37,090.33
3.03	Total Equipment Cost	\$12,762.62
3.04	Subtotal	\$72,869.36
3.05	Overhead and Profit 15% x Item 3.02 and 3.03	\$7,477.94
3.06	Total Subcontractor Cost	\$80,346.30
3.07	Sub-Subcontractor Cost	\$0.00
3.08	Overhead and Profit 5% x Item 3.07	\$0.00
3.09	Bond Cost	\$0.00
3.99	S/C Cost Report'd to GC	\$80,346.30

Submitted By:
 Name: James H. Hulseley II, P.E.
 Signature: 
 Title: Vice President
 Date: 7/21/2022 revised 08-26-2022



**Cleveland
Cement
Contractors, Inc.**

**15840 Sabra Way; Colonial Heights, VA 23834
Phone (804) 524-2280 Fax (804) 524-2441**

July 21, 2022

EDC
1660 Huguenot Road
Midlothian, VA 23113

Attn: Mr. Jeffrey Emmons

RE: Henrico Sports Complex – Ad-alternate for opening in panels per email on 07-18-2022

Jeff,

Attached please find Cleveland COR request # 5 for ad-alt on openings in panels at NW of building.

Price \$9,141.71

This adds 2 days to our durations

Thanks,

A handwritten signature in blue ink, appearing to read 'JH', is written over the printed name of James H. Hulsey II.

Cleveland Cement Contractors, Inc.
James H. Hulsey II, P.E.
Vice President

SUBCONTRACTOR ESTIMATE FOR CHANGE ORDER

SC-1

Project Code: EDC
Agency: Cleveland Cement
Project: Henrico Sports Complex
General Contractor: EDC
Subcontractor: Cleveland Cement
Subcontractor Trade: Concrete

Change Description: Ad Alternate for openings in panels

SUBCONTRACTOR DIRECT COSTS												
Scope Description			Direct Labor				Direct Material		Direct Equipment			
Item No.	Description	Quantity	Qty Units	Direct Labor Hours Per Unit	Total Direct Labor Hours	Hourly Wage Rate, Excl. Taxes & Ins.	Total Labor Cost	Material Cost Per Unit	Total Material Cost	Equipment Cost Per Unit	Total Equipment Cost	
			D	E	F=CxE	G	H=FxG	I	J=CxI	K	L=CxK	
1.01				0.00	0.00		\$0.00		\$0.00		\$0.00	
1.02	Wall Elevation - GLB			0.00	0.00		\$0.00		\$0.00		\$0.00	
1.03	add openings	279.00	lf	0.26	72.00	\$60.00	\$5,760.00	\$3.50	\$878.50		\$0.00	
1.04	delete concrete	(15.83)	cy	1.05	(16.72)	\$48.88	(\$817.33)	\$180.00	(\$2,866.50)	\$25.00	(\$386.13)	
1.05	add chamfer	558.00	lf	0.04	24.00	\$80.00	\$1,920.00	\$1.00	\$2,250.00	\$0.50	\$1,125.00	
1.06	add reber	2,250.00	lbs	0.01	18.00	\$80.00	\$900.00		\$0.00		\$0.00	
1.07				0.00	0.00	\$48.88	\$0.00		\$0.00		\$0.00	
1.08				0.00	0.00		\$0.00		\$0.00		\$0.00	
1.09	Subtotal from Estimate Continuation Sheets						\$0.00		\$0.00		\$0.00	
1.97	Subtotal (\$/T) Direct Costs:						\$7,822.67		\$380.00		\$728.88	
1.98	Taxes/Insurance:						\$0.00		\$21.80		\$38.52	
1.99	Total Direct Costs						\$7,822.67		\$381.80		\$765.40	

SUB-SUBCONTRACT COSTS		
Item No.	Sub-Subcontractor Name	Total Cost
A		C
2.01		
2.02		
2.03		
2.04		
2.05		
2.99	Total Sub-Subcontract Costs	\$0.00

SUMMARY		
Item No.	Description	Total Cost
3.01	Total Direct Labor Cost	\$7,822.67
3.02	Total Direct Material Cost	\$381.80
3.03	Total Equipment Cost	\$765.40
3.04	Subtotal	\$8,969.88
3.05	Overhead and Profit 15% x Item 3.02 and 3.03	\$172.05
3.06	Total Subcontractor Cost	\$9,141.71
3.07	Sub-Subcontractor Cost	\$0.00
3.08	Overhead and Profit 6% x Item 3.07	\$0.00
3.09	Bond Cost	\$0.00
3.99	S/C Cost Report'd to GC	\$9,141.71

Submitted By

Name: James H. Hulsey II, P.E.

Signature: 

Title: Vice President

Date: 7/21/2022



21 3rd Street
Bristol, TN 37620
(423) 968-7747

CHANGE ORDER #03
FABRICRAFT JOB#21-58

TO: EDC

PROJECT: VCC Sports Complex
Glen Allen, VA

ATTN: Jeffrey Emmons

DATE: July 20, 2022

CHANGE ORDER DETAILS AS FOLLOWS:

PER REVISED PLANS:

- ADD GALV EXTERIOR STAIR, MEZZ. INFILL BEAMS, COMPOSITE DECKING, COMPOSITE STUDS AND TILT-PANEL EMBEDS
- UNLOADING & ERECTION BY OTHERS

→ \$175,875 + 6.0% SALES TAX = \$186,427.50

RESPECTFULLY SUBMITTED,

CHARLES GREEN IV
FABRICRAFT, INC
charlesgreen@fabricraft.us
423-968-7747





10220 Sycamore Drive, Ashland, VA 23005
phone: (804) 550-2822 web: www.apva.com

Quote

022Q10697
Jul 25, 2022

To: EDC

Ship: VCC Bulletin 2

Attn: Jeffrey Emmons
jemmons@edcweb.com

Quoted by: David Henry, II
d2@apva.com
(804) 550-2822 x134

We are pleased to quote the following:

Here is the quote you requested.

26	Hollow Metal Frames	\$412.50	\$2,475.00 825
48	Hollow Metal Doors	\$1,035.00	\$8,280.00 4,140
2	Hardware Set 10 @ 175 and 176	\$2,445.00	\$4,890.00
4	Hardware Set 4 @ Single Openings	\$1,335.00	\$5,340.00
			<u>9,855</u>

TERMS Net 30 Days - No Retainage (Subject to credit approval)
PRICES good for orders placed within 30 days and material shipped within 90 days from date of quote
SALES TAX is not included (If applicable, add appropriate tax to above)
FREIGHT is included (unless otherwise noted)

SubTotal	9,855	\$20,985.00
Tax	591.3	\$1,259.10
Shipping		\$0.00
Total	10,446.30	\$22,244.10

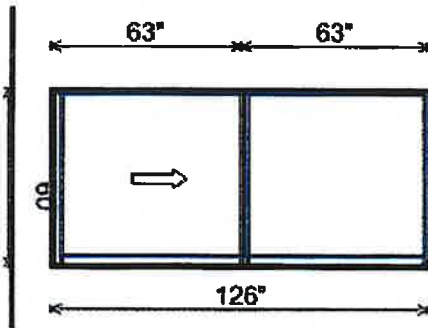
Jeffrey Emmons, LEED AP®

From: charles.ford@fast-glass.com
Sent: Tuesday, July 26, 2022 1:29 PM
To: Jeffrey Emmons, LEED AP®
Subject: RE: Henrico Sports Complex - Bulletin #2
Attachments: 17-2213_1010_1040_Sliding_MallFront.pdf; ADMB020EN.pdf

Jeffrey,

Kawneer sent over their quote for the (9) openings. Our price to furnish and install (9) Kawneer 1010 sliding mall front operable openings, size approx. 10'-6" wide by 5' tall, is a total of \$42,110. Each opening was configured so half of the slider will open (see sketch below). Finish is black anodized and glass will be 1" insulated unit. Lock is included.

I have included Kawneer's product data as well as the architectural manual for this system so the arch/owner can see what was priced since there were no details or specs.



Let me know if you have any questions.

Charles



Charles Ford | Vice President | p 804.778.7771 | 1808 Coyote Drive, Chester, VA 23836

SWaM Certified by the DMARL Certification #63730

From: charles.ford@fast-glass.com <charles.ford@fast-glass.com>
Sent: Thursday, July 21, 2022 4:28 PM
To: 'Jeffrey Emmons, LEED AP®' <jemmons@edcweb.com>
Subject: RE: Henrico Sports Complex - Bulletin #2

Jeffrey Emmons, LEED AP®

From: charles.ford@fast-glass.com
Sent: Wednesday, September 7, 2022 8:12 AM
To: Jeffrey Emmons, LEED AP®
Subject: RE: Henrico Sports Complex: FW: DRAWING LOG: Drawings from Bulletin #3

Jeffrey,

As discussed, please see below regarding our revised bulletin #3 summary:

The changes in bulletin #3 related to the storefront and glass & glazing scope are adding back the NN4 frame, adding a new door beside the NN4 frame, and removal of the horizontal in frame CC. The elevation TT sliding windows were shown as a 3-panel elevation in this bulletin, but to keep costs down we have kept this as a 2-panel design. The pricing related to these changes is an increase from contract amount and previous other bulletins/changes of **\$10,530**.

Let me know if you have any other questions.

Charles



Charles Ford | Vice President | p 804.778.7771 | 1808 Coyote Drive, Chester, VA 23836

SWaM Certified by the DMBE, Certification #647305

From: charles.ford@fast-glass.com <charles.ford@fast-glass.com>
Sent: Wednesday, September 7, 2022 8:00 AM
To: 'Jeffrey Emmons, LEED AP®' <jemmons@edcweb.com>
Subject: FW: Henrico Sports Complex: FW: DRAWING LOG: Drawings from Bulletin #3

Jeffrey,

We have reviewed the changes to our scope in Bulletin #3, please see below for our findings:

The changes in bulletin #3 related to the storefront and glass & glazing scope are adding back the NN4 frame, adding a new door beside the NN4 frame, removal of the horizontal in frame CC, and the reconfiguration of the elevation TT openings from a 2-panel window (as previously quoted) to a 3-panel window. The pricing related to these changes is an increase from contract amount and previous other bulletins/changes of **\$19,280**.

We will incorporate these changes into our shop drawing revisions and resubmit for approval.

Thanks,



Post Office Box 13800
Richmond, Virginia 23225

Jeffery Emmons
EDC
Bulletin Two
7-25-2022

Jeffery,

This price is to include all labor and materials to paint and caulk the tilt panels at the added stair per bulletin two.

\$7,500.00

Thank you,
Troy Glidewell

Richmond VA Branch Office
Installation Sales Department



Elevators Escalators

Date: June 15, 2022
To: EDC
Jeffrey Emmons
Reference: VCC Sports Complex
Elevator 2
Glen Allen, VA

KONE Inc.
530 Eastpark Court, Suite J
Sandston, VA 23150
Tel (804) 328-1032 x 224
Fax (804) 328-1034
www.kone.com
matt.bloomer@kone.com

SFDC Tender No.: 5634071

We are pleased to confirm our bid amount of ONE HUNDRED THOUSAND THREE HUNDRED DOLLARS (\$100,300.00) to furnish and install one (1) KONE MonoSpace 300 machine room less elevator in the above referenced project. Our price is in general conformance with Division 142100 and the elevator drawings as prepared by the architect dated June 28, 2021 (Permit / Bid Set). Please note the following qualifications:

1. Our price assumes mutually agreeable contract terms, including payment terms, insurance requirements, damages and the overall construction schedule (See Attachment A). All contract terms and conditions, including those of referenced Prime Contracts, are subject to review and approval by the KONE Inc. Law Department and will be based on previous framework agreements with you company when possible.
2. Our price includes known labor increases through December 31, 2023. Work performed as of January 1, 2024 will be subject to the prevailing wage rate.
3. (Division 142100, 1.01-B) Our price includes the provision of the hoist beams, safety beams and pit ladders for installation by others. All related builder's work outside Division 14 is by others.
4. (1.02-A and 2.01-A.1) The EcoSpace product line has been replaced by the MonoSpace 300 product line, on which our price is based.
5. (1.02-G) The under ceiling height will be 7'-4", not 7'-7" as referenced.
6. (2.07-D.7) Earthquake operation is not required by code and is not included in our quotation.
7. Parking for one company vehicle is required within the building site fence.
8. (Drawing A8.5) The hoistway front-to-back dimension shown on the drawings must be increased from 5'-10 7/8" to 6'-6 3/4".
9. Our price includes our standard static film protection for stainless steel finishes. In the event the elevators are used during construction the protection of elevator finishes, including temporary car enclosures and other protective barriers, are to be furnished and installed by others.
10. Our price includes our standard card reader interface to secure the car operating panel. 1 coax cable and 8 shielded pair will be provided from the elevator cab to the elevator controller. Connection of the device provided by others will occur at the elevator controller located inside the entrance frame at the top landing.
11. The cost per unit for temporary use will be \$1,800.00 per month, plus the costs of any temporary inspection fees. The General Contractor must execute the KONE temporary acceptance form prior to using the elevator(s) and agrees to clean down all elevator equipment and turnover the elevator in a "like new" condition upon completion of the temporary use. Temporary / construction use of the elevator equipment is subject to approval by the local code official having jurisdiction.
12. Elevator hoistways must be built in strict accordance with KONE Inc. drawings regardless of what is shown on the building drawings.
13. Our limited one (1) year warranty begins once the elevator has been final inspected and accepted by execution of our Uniform Final Acceptance, which may be prior to the substantial completion of the building.
14. All work will be performed during normal working hours of the elevator trade Monday-Thursday (40 straight-time hours per week), excluding nationally recognized holidays. No overtime or premium time work has been included within our budget estimate.



Elevators Escalators

15. Our price includes 10 hours of operator time. If the General Contractor requires additional use of the elevator platform for any reason, we will provide an operator for an additional charge of \$200/hour (straight time) or \$295/hour (double time). The availability of an operator (either straight time or double time) will be determined at the time of the request.
16. A \$2,500 remobilization fee may be charged for each occurrence in the event KONE incurs any installation or inspection interruptions due to reasons beyond our control.
17. Terms of payment are 30% of contract with order, material cost billed upon delivery of material to the jobsite or to our warehouse, and labor to be billed based on progress.
18. The elevator equipment will not be turned over for use until the contract amount, less retention, has been paid in full.
19. If Performance and Payment Bonds are required, ADD 1% to the total bid amount.
20. Our price will remain valid for a period of 10 days.

We anticipate a lead-time of approximately 4 weeks for the elevator submittals once we receive notice to proceed and complete project documents. Material procurement and fabrication will take approximately 14 weeks once approved drawings have been returned to our engineering department and a fully executed contract has been received. Installation of the elevator equipment will take approximately 6 weeks per elevator. Installation of the elevator equipment will not commence until all preparatory work by others is complete and all material is on site. Lead-times are subject to change based on actual field and factory backlogs at the time your elevator equipment is released for fabrication. We suggest you allow a minimum of 4 weeks to review and approve the elevator shop drawings and related submittal data.

This proposal is made without regard to compliance with any special purchasing and/or manufacturing requirements including, but not limited to, minority/disadvantaged supplier requirements or similar state procurement laws. Should such requirements be applicable to this project, KONE reserves the right to modify and/or withdraw our proposal.

Our price includes estimated tariffs in effect as of the date of this letter. In the event additional tariffs are imposed by the US Commerce Department, any additional costs will be submitted for payment at the time material is delivered to the US port of entry (see Item 20 of KONE Inc. Bid Attachment "A"). If further tariff legislation impacts the time required to perform the work, KONE shall be entitled to a time extension to complete its work commensurate with the impact.

Coronavirus Update: Delivery times for projects may need to be extended due to delays caused by measures undertaken to stop the spreading Coronavirus (2019-nCoV) pandemic, such as mandatory holiday extensions and transportation restrictions imposed by authorities in China and other countries, and the availability of personnel, logistics providers and supply chains due to the epidemic.

We thank you for the opportunity to quote this project and look forward to working with your firm. If you have any questions regarding this quotation, please contact me at 757-603-1964.

Respectfully Submitted,

A handwritten signature in blue ink, appearing to read "J. Matthew Bloomer", with a long horizontal flourish extending to the right.

J. Matthew Bloomer
Sales Executive


Attachments:

KONE Inc. Technical Specification
KONE Inc. Attachment "A"
KONE Inc. Attachment "B"



Pricing summary

The KONE solution includes design, manufacturing, supply and installation of the following:

Equipment name	Solution	Capacity/Speed	Landings/Entrances	 Elevator	Price
<input type="checkbox"/> MKOF NEB MonoSpace 300 21.2-1	1 x KONE MonoSpace 300 DX	2500 lbs / 150 fpm	Landings: 2 Entrances: 2 front / 2 rear		\$ 100,300.00
Building 1 Total					\$ 100,300.00
Total Sales Price, net including TAX					\$ 100,300.00

Additional options

The following options may be added to our proposal if desired.

Validity of proposal

This Proposal is valid for 30 days.



**Mid Atlantic
Fire Protection, Inc.**

5596 Greenwich Road, Virginia Beach, VA 23462

Phone: (757) 455-8888 Fax: (757) 455-8393

www.midatlanticfireprotection.com

CHANGE REQUEST FORM

DATE: July 19, 2022
JOB: 22-796 VCC Sports Complex

ARCHITECT'S CPR NO. _____
CONTRACTOR'S CPR NO. _____
MAFP CHANGE REQUEST NO. 1

DESCRIPTION OF WORK: Bulletin #2 expanded mezzanine area

Please note: This could constitute a delay or extension of time to complete the project.

<u>LABOR</u>	<u>RATE</u>	<u>MAN HRS</u>	<u>O.T. HRS</u>	<u>TOTAL</u>
ENGINEERING	\$ 78.00	4		\$ 312.00
FABRICATION	\$ 52.00			\$ -
SUPERVISOR	\$ 78.00			\$ -
FOREMAN	\$ 62.00	24		\$ 1,488.00
FITTER	\$ 56.00	24		\$ 1,344.00
			TOTAL LABOR	\$3,144.00

<u>MATERIAL</u>					
<u>QTY</u>	<u>DESCRIPTION</u>	<u>COST</u>	<u>EXTENSION</u>		
45	brass upright	11.87	\$534.15		
6	chrome recessed	1.07	\$6.42		
30	ft of 2 1/2" sch 10 pipe	14.58	\$437.40		
570	ft of 2" sch 40 pipe	16.50	\$9,405.00		
62	ft of 1" sch 40 pipe	7.55	\$468.10		
30	2 1/2" couplings	11.38	\$341.40		
2	2 1/2" groove caps	9.18	\$18.36		
4	2" ci 90s	27.79	\$111.16		
51	hanger assemblies	18.40	\$938.40		
1	1" control valve w/ tamper	349.50	\$349.50		
1	1" flow switch	233.04	\$233.04		
			\$0.00		
			\$0.00		
	TOTAL		\$12,842.93		
				MATERIAL SUBTOTAL	\$ 12,842.93
				x 6% SALES TAX	\$ 770.58
				TOTAL MATERIAL	\$ 13,613.51
				TOTAL LABOR	\$ 3,144.00
				TOTAL MATERIAL	\$ 13,613.51
				TOTAL MISC	\$ 150.00
				SUBTOTAL	\$ 16,907.51

<u>MISCELLANEOUS</u>					
<u>QTY</u>	<u>DESCRIPTION</u>	<u>COST</u>	<u>EXTENSION</u>		
1	Truck and Tools	150.00	\$150.00		
			\$0.00		
			\$0.00		
			\$0.00		
	TOTAL		\$150.00		
				10% OVERHEAD	\$ 1,690.75
				SUBTOTAL	\$ 18,598.26
				10% PROFIT	\$ 1,859.83
				TOTAL	\$ 20,458.08

TOTAL CHANGE REQUEST \$20,458

SUBCONTRACTOR ESTIMATE FOR CHANGE ORDER

Project Code: _____
 Agency: _____
 Project: Henrico Sports Complex

General Contractor: EDC
 Subcontractor: Howells Heating and Air
 Subcontractor Trade: HVAC

Change Description: Bulletin#2 added (2) additional rooftop package units matching RTU-15&18. Price also includes modifying the duct coming off of (2) ERVs and (1) RTU. Rev1.7-27-22 is to remove the spiral and grilles on the mezzanine level. Deduct for the spiral deduct on SW Mezzanine is same as NW, (\$26,543)

SUBCONTRACTOR DIRECT COSTS													
Item No.	Scope Description	Quantity			Direct Labor			Direct Material			Direct Equipment		
		C	D	E	F = C x E	G	H = F x G	I	J = C x J	K	L = C x K		
1.01	Duct fabrication	1.00	lot	122.00			\$90.00	\$11,584.00				\$0.00	
1.02	Installation of Duct & RTUs	1.00		163.00			\$90.00	\$500.00	\$500.00			\$31,405.00	
1.03	Spiral & GRDs			0.00			\$0.00					\$0.00	
1.04				0.00			\$0.00					\$0.00	
1.05				0.00			\$0.00					\$0.00	
1.06				0.00			\$0.00					\$0.00	
1.07				0.00			\$0.00					\$0.00	
1.08				0.00			\$0.00					\$0.00	
1.09	Subtotal from Estimate Continuation Sheets						\$0.00					\$0.00	
1.97	Subtotal (S/T) Direct Costs:						\$25,650.00	Subtotal Mat'l	\$12,064.00	Subtotal Equip.	\$31,405.00	\$69,119.00	
1.98	Taxes/Insurance:						\$5,130.00	6% Sales Tax	\$725.04	6% Sales Tax	\$1,884.30	\$7,739.34	
1.99	Total Direct Costs						\$30,780.00	Total Mat'l	\$12,809.04	Total Equip.	\$33,289.30	\$76,878.34	

SUB-SUBCONTRACT COSTS		
Item No.	Sub-Subcontractor Name (List totals from attached SS-1 forms)	Total Cost
A	B	C
2.01	Controls	\$3,690.00
2.02	T&B	
2.03		
2.04		
2.05		
2.06		
2.99	Total Sub-Subcontract Costs	\$3,690.00

SUMMARY		
Item No.	Description	Total Cost
3.01	Total Direct Labor Cost	\$30,780.00
3.02	Total Direct Material Cost	\$12,809.04
3.03	Total Equipment Cost	\$33,289.30
3.04	Total Sub-Subcontractor Cost	\$3,690.00
3.05	Subtotal	\$80,568.34
3.06	Overhead and Profit	\$8,952.04
3.99	S/C Cost Report'd to GC	\$69,620

Submitted By

Company: Howells
 Name: Josh Krider
 Signature: _____
 Title: Project Manager
 Date: 27-Jul-22

* Prices based on project conditions and material prices on the date of the price request. Above price subject to change to reflect changes in project condition or material pricing.



Change Order

Date: August 1, 2022

TO: EDC, Inc.

ATTN: Jeffrey Emmons

Jeffrey.emmons@edcweb.com

RE: Henrico Sports Complex

FROM: Richard Primmer

richardp@us-electric.com

WORK DESCRIPTION: Provide and install conduit, fittings, supports, wiring and terminations for Bulletin #2. This does not include any lighting, lighting controls or receptacles in mezzanine level NE. It does include temporary strings of lights and a single pole switch for control.

Labor: \$20,048.00
Material: \$13,239.00
Fire Alarm: \$13,002.00
Lighting: \$15,237.50
Equip: \$ 1,500.00
Subtotal: \$62,026.50
10% OH: \$ 6,302.65
5% Profit: \$ 3,466.46
Total: \$72,795.61

Sincerely,

Richard Primmer

Richard Primmer

Project Manager

Cell: 804-852-2123

Email: richardp@us-electric.com



Change Order

Date: August 2, 2022

TO: EDC, Inc.

ATTN: Jeffrey Emmons

Jeffrey.emmons@edcweb.com

RE: Henrico Sports Complex

FROM: Richard Primmer

richardp@us-electric.com

WORK DESCRIPTION: Delete lighting and controls in mezzanine area NW.

Labor: \$1,571.10

Material: \$ 638.53

Lighting: \$7,271.60

Total: \$9,481.23

Sincerely,

Richard Primmer

Richard Primmer

Project Manager

Cell: 804-852-2123

Email: richardp@us-electric.com